

- to garage 6.0 metres (minimum)
- to front wall of the dwelling 4.5 metres (minimum)
- to front wall of the dwelling 7.0 metres (maximum)

- |                                 |            |
|---------------------------------|------------|
| 3) Interior side yard (minimum) | 1.2 metres |
| 4) Coverage (maximum)           | 50%        |

Notwithstanding Subsection 5.17 (Parking Area Regulations), a minimum of 2 outdoor parking spaces shall be provided on each lot.

Notwithstanding the minimum required rear yard, the following encroachments are permitted:

- (a) unroofed, unexcavated, unenclosed decks and stairs attached to the main building are permitted to encroach a maximum of 3 metres into the minimum required rear yard.

24.337 Notwithstanding the provisions of Sections 10.2(2), 10.2(3), 10.2(4), 10.2(5), 10.2(7), and 10.2(8), the following regulations shall apply to lands zoned as Residential Fourth Density (R4) Zone, Special Provision 24.337:

- |                                 |                      |
|---------------------------------|----------------------|
| 1) Lot frontage (minimum)       |                      |
| - interior lot                  | 13.7 metres          |
| - corner lot                    | 15.7 metres          |
| 2) Front yard                   |                      |
| - to garage                     | 6.0 metres (minimum) |
| - to front wall of the dwelling | 4.5 metres (minimum) |
| - to front wall of the dwelling | 7.0 metres (maximum) |
| 3) Interior side yard (minimum) | 1.2 metres           |
| 4) Building height (maximum)    | 11.5 metres          |
| 5) Coverage (maximum)           | 50%                  |

Notwithstanding Subsection 5.17 (Parking Area Regulations), a minimum of 2 outdoor parking spaces shall be provided on each lot.

Notwithstanding the minimum required rear yard, the following encroachments are permitted:

- (a) unroofed, unexcavated, unenclosed decks and stairs attached to the main building are permitted to encroach a maximum of 3 metres into the minimum required rear yard.

24.338 Notwithstanding the provisions of Sections 10.2(1), 10.2(2), 10.2(3), 10.2(4), 10.2(5), and 10.2(8), the following regulations shall apply to lands zoned as Residential Fourth Density (R4) Zone, Special Provision 24.338:

- |                                 |  |                      |
|---------------------------------|--|----------------------|
| 1) Lot area (minimum)           |  | 315.0 square metres  |
| 2) Lot frontage (minimum)       |  |                      |
| - interior lot                  |  | 12.2 metres          |
| - corner lot                    |  | 14.2 metres          |
| 3) Front yard                   |  |                      |
| - to garage                     |  | 6.0 metres (minimum) |
| - to front wall of the dwelling |  | 4.5 metres (minimum) |
| - to front wall of the dwelling |  | 7.0 metres (maximum) |

- 4) Interior side yard (minimum) 1.2 metres
- 5) Coverage (maximum) 50%

Notwithstanding Subsection 5.17 (Parking Area Regulations), a minimum of 2 outdoor parking spaces shall be provided on each lot.

Notwithstanding the minimum required rear yard, the following encroachments are permitted:

- (a) unroofed, unexcavated, unenclosed decks and stairs attached to the main building are permitted to encroach a maximum of 3 metres into the minimum required rear yard.

24.339 Notwithstanding the provisions of Sections 10.2(1), 10.2(2), 10.2(3), 10.2(4), 10.2(5), 10.2(7), and 10.2(8), the following regulations shall apply to lands zoned as Residential Fourth Density (R4) Zone, Special Provision 24.339:

- 1) Lot area (minimum) 315.0 square metres
- 2) Lot frontage (minimum)
  - interior lot 12.2 metres
  - corner lot 14.2 metres
- 3) Front yard
  - to garage 6.0 metres (minimum)
  - to front wall of the dwelling 4.5 metres (minimum)
  - to front wall of the dwelling 7.0 metres (maximum)
- 4) Interior side yard (minimum) 1.2 metres
- 5) Building height (maximum) 11.5 metres
- 6) Coverage (maximum) 50%

Notwithstanding Subsection 5.17 (Parking Area Regulations), a minimum of 2 outdoor parking spaces shall be provided on each lot.

Notwithstanding the minimum required rear yard, the following encroachments are permitted:

- (a) unroofed, unexcavated, unenclosed decks and stairs attached to the main building are permitted to encroach a maximum of 3 metres into the minimum required rear yard.

24.226 Notwithstanding the provisions of Sections 12.1 and 12.2, the following provisions shall apply to lands zoned as Multiple Residential Medium Density (RM1) Zone, Special Provision 24.226:

a) Permitted Uses

Notwithstanding Subsection 12.1 (Permitted Uses), the following uses shall also be permitted in addition to the Permitted Uses of Section 12.1 for the lands zoned Multiple Residential Medium Density (RM1) Zone, Special Provision 24.226:

- *Linked Semi-Detached Dwelling*

**b) Regulations for Townhouse Dwellings and Linked Semi-Detached Dwellings having frontage to Individual Dwelling Units from a Public Road (measurements taken from the Public Road):**

- |   |                                |
|---|--------------------------------|
| 1) Lot area (minimum)                                     | 160.0 metres per dwelling unit |
| 2) Lot frontage (minimum)                                 | 6.5 metres per dwelling unit   |
| 3) Front yard (minimum)                                   |                                |
| - to front of dwelling:                                   | 4.5 metres                     |
| - to garage:  | 6.0 metres                     |
| 4) Exterior side yard (minimum)                           |                                |
| - to a Private Street                                     | 2.0 metres                     |
| - to a Public Street                                      | 3.5 metres                     |
| 5) Interior side yard (minimum)                           | 1.2 metres                     |
| - where connected above & below grade to another dwelling | 0 metres                       |
| - where only connected below grade to another dwelling    | 1.2 metres                     |
| 6) Rear yard (minimum)                                    | 6.0 metres                     |
| 7) Building height (maximum)                              | 11.5 metres                    |

**Yard Encroachments**

Notwithstanding the minimum required exterior side and rear yards, the following encroachments are permitted:

- a) unexcavated, unenclosed, and unroofed decks and stairs attached to the main building are permitted to encroach a combined maximum of 2.5 metres into the minimum required rear yard.
- b) Covered porches and stairs are permitted to encroach a maximum of 1 metre into the minimum required exterior side yard.

**c) Regulations for Townhouse Dwellings having frontage to Individual Dwelling Units from a Private Street (measurements taken from the Private Street):**

- |                                 |                                |
|---------------------------------|--------------------------------|
| 1) Lot area (minimum)           | 155.0 metres per dwelling unit |
| 2) Lot frontage (minimum)       | 6.1 metres per dwelling unit   |
| 3) Front yard (minimum)         |                                |
| - to front of dwelling:         | 4.5 metres                     |
| - to garage:                    | 6.0 metres                     |
| 4) Exterior side yard (minimum) |                                |
| - to a Private Street           | 2.0 metres                     |
| - to a Public Street            | 3.5 metres                     |
| 5) Interior side yard (minimum) | 1.2 metres                     |
| 6) Rear yard (minimum)          | 6.0 metres                     |

7) Building height (maximum) 11.5 metres

Yard Encroachments

Notwithstanding the minimum required exterior side and rear yards, the following encroachments are permitted:

- a) unexcavated, unenclosed, and unroofed decks and stairs attached to the main building are permitted to encroach a combined maximum of 2.5 metres into the minimum required rear yard.
- b) Covered porches and stairs are permitted to encroach a maximum of 1 metre into the minimum required exterior side yard."

**4. Holding Symbol**

That the Holding Symbol (H) shown on Schedule "A" to this By-law, shall only be removed from all or a portion of the lands when the Town is satisfied that:

- 1) There is sufficient water supply and sewage treatment capacity to service the development or portion thereof as the case may be.

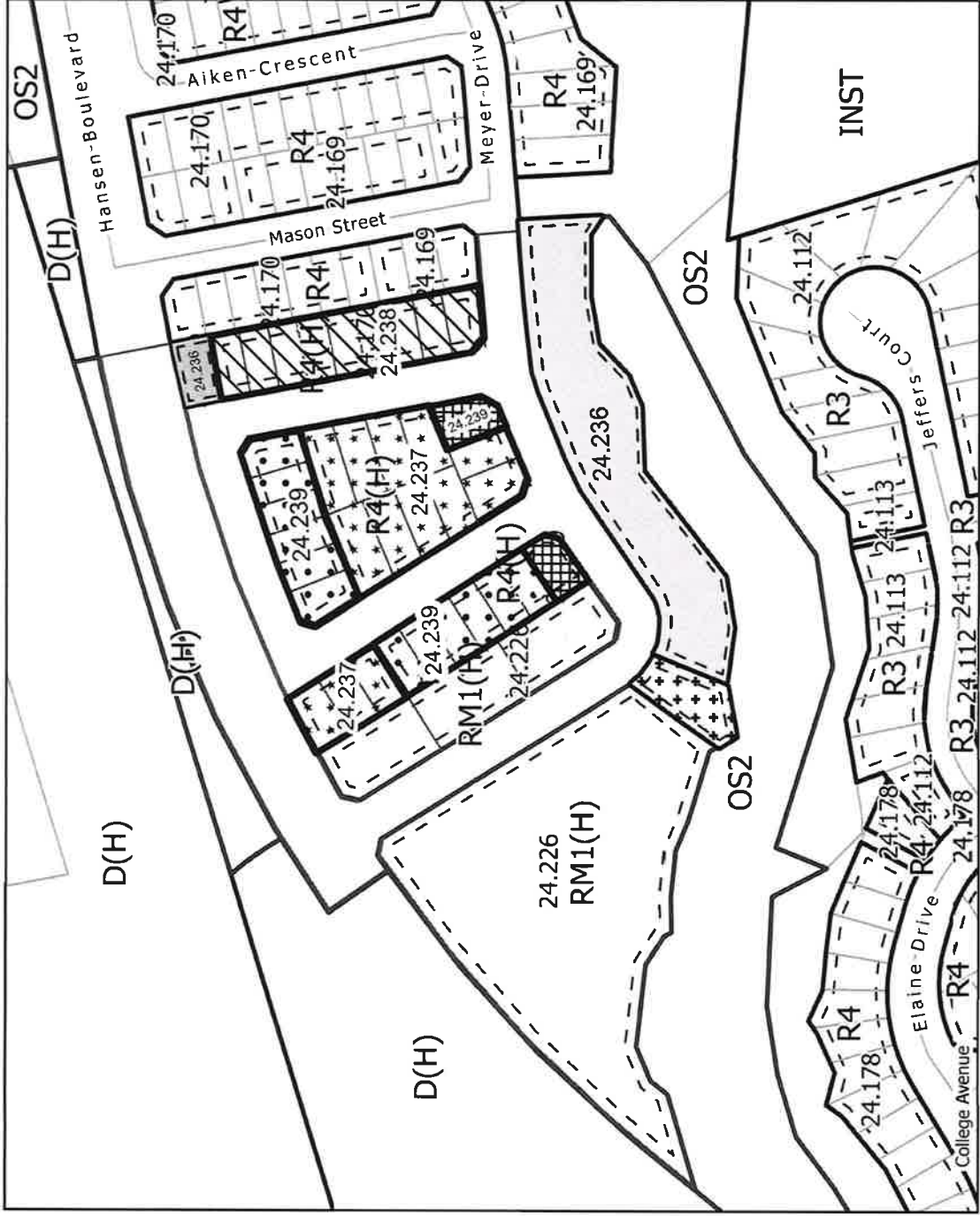
Read three times and finally passed this 17th day of April, 2023.



Lisa Post, Mayor



Carolina Khan, Clerk



The Corporation of The Town of Orangeville  
Schedule 'A' Town of Orangeville Zoning By-law 22-90

Schedule "A" to by-law 2023-033

Passed the 17 day of April, 2023

*[Signature]*

Mayor

*[Signature]*

Clerk

Zoning Map Nos. A3 and B3

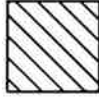
This is a reference map only



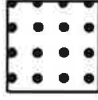
Lands to be rezoned from  
Residential Fourth Density (R4)(H)  
Zone, S.P. 24.169 to Residential  
Fourth Density (R4)(H) Zone,  
S.P. 24.236



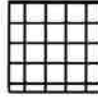
Lands to be rezoned from  
Residential Fourth Density (R4)(H)  
Zone, S.P. 24.169 to Residential  
Fourth Density (R4)(H) Zone,  
S.P. 24.237



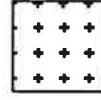
Lands to be rezoned from  
Residential Fourth Density (R4)(H)  
Zone, S.P. 24.170 to Residential  
Fourth Density (R4)(H) Zone,  
S.P. 24.238



Lands to be rezoned from  
Residential Fourth Density (R4)(H)  
Zone, S.P. 24.170 to Residential  
Fourth Density (R4)(H) Zone,  
S.P. 24.239



Lands to be rezoned from  
Residential Fourth Density (R4)(H)  
Zone, S.P. 24.169 to Residential  
Fourth Density (R4)(H) Zone,  
S.P. 24.239



Lands to be rezoned from Multiple  
Residential Medium Density (RM1)(H)  
Zone, S.P. 24.226 to Residential  
Fourth Density (R4)(H) Zone,  
S.P. 24.236