



The Corporation of the Town of Orangeville

By-law Number 2022-057

A By-law to amend Zoning By-law No. 22-90 as amended, with respect to Block 94 and Block 98 on Plan 7M-70 (Cachet Developments (Orangeville) Inc., File No. OPZ-2019-03)

WHEREAS authority is given to the Ontario Land Tribunal by Section 34 and 36 of the Planning Act, R.S.O. 1990, c. P. 13, as amended, to impose a holding symbol (H) and authority is given to Council to remove a holding symbol (H) when Council is satisfied that the conditions relating to the holding symbol have been satisfied;

AND WHEREAS the Ontario Land Tribunal, pursuant to its Order in respect of Case No. PL200364 issued on June 13, 2022, upon hearing an appeal under subsection 34(11) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, deems it advisable to amend By-law 22-90, as amended, for the Town of Orangeville, to permit a mixed-use development on Block 94 and Block 98, Plan 7M-70;

The Ontario Land Tribunal orders as follows:

1. That the land subject to this By-law consists of Block 94 and Block 98 on Plan 7M-70 in the Town of Orangeville, County of Dufferin, as more particularly shown on Schedule "A" attached to this By-law.
2. That Schedule "A" attached hereto forms part of this By-law.
3. That Schedule "A", Maps B2 and B3 to Zoning By-law No. 22-90, as amended, are hereby further amended by rezoning the subject lands as depicted on Schedule "A" attached to this By-law.
4. That Section 24 of Zoning By-law No. 22-90, as amended, is hereby further amended by adding a new Section 24.230 as follows:

“24.230 Notwithstanding the provisions of Section 15.1 (*Permitted Uses*), the following additional uses are permitted on the lands described as Block 94 and Block 98 on Plan 7M-70 and zoned Neighbourhood Commercial (C2) Zone, SP 24.230:

- A *mixed-use building*
- a *multiple dwelling* on a lot that also contains a *mixed-use building*

Notwithstanding the provisions of Section 15.2 (*Regulations for All Uses Except Automobile Service Station*), the following regulations apply to the lands zoned Neighbourhood Commercial (C2) Zone, SP 24.230:

- Front yard (minimum) 3 metres
- Exterior side yard (minimum) 3 metres
- Interior side yard (minimum) 3 metres
- Rear yard (minimum) 3 metres
- Building Height (maximum) 19 metres
- Number of Dwelling Units (maximum) 390 units

Notwithstanding the provisions of Section 5.17, (*Parking Area Regulations*), parking spaces shall be provided in accordance with the following:

- (i) A minimum of 1.25 parking spaces per *dwelling unit* for a *multiple dwelling and a mixed-use building*;
- (ii) A minimum of 0.25 parking spaces per *dwelling unit* for visitors to a *multiple dwelling and a mixed-use building*;
- (iii) A minimum of 1 parking space for each 20 square metres of *floor area* for retail, *office* and other service establishment uses.
- (iv) Visitor and non-residential parking spaces required by (ii) and (iii) above may be shared and provided on a non-exclusive basis.

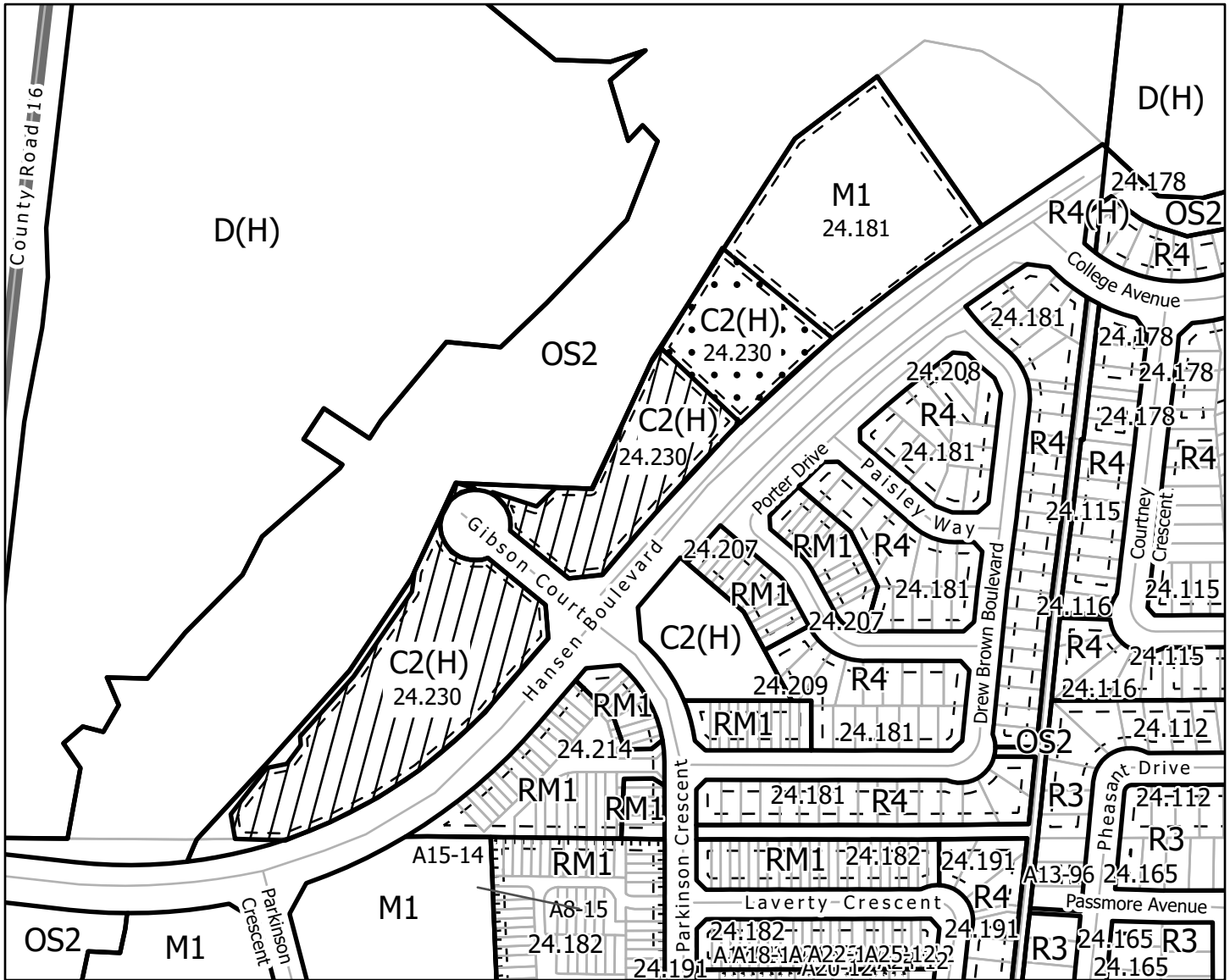
Holding Symbol

5. That the Holding Symbol (H) shown on Schedule “A” to this By-law with a zone symbol that possesses an “H” prefix, shall only be removed from all or a portion of the lands when the Town is satisfied that:

- a) There is sufficient water supply and sewage treatment capacity to service the development or portion thereof as the case may be.

Passed by an Order of the Ontario Land Tribunal Order issued

on June 13, 2022.

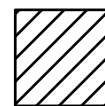


The Corporation of The Town of Orangeville
 Schedule 'A' Town of Orangeville Zoning By-law 22-90

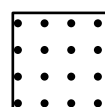


Schedule **"A"** to by-law

Passed by an Order of the Ontario Land Tribunal
 Order issued on June 13, 2022



Lands described as Blocks 94 and 98, Plan 7M-70, to be rezoned from General Industrial (M1) Zone to Neighbourhood Commercial (C2) (H) Zone, S.P. 24.230



Lands described as Block 98, Plan 7M-70, to be rezoned from General Industrial (M1) Zone, S.P. 24.181 to Neighbourhood Commercial (C2) (H) Zone, S.P. 24.230