



THE CORPORATION OF THE TOWN OF ORANGEVILLE

87 Broadway,
Orangeville, ON. L9W 1K1
Phone: (519) 941-0440

NOTICE OF THE ADOPTION OF OFFICIAL PLAN AMENDMENT

TAKE NOTICE THAT the Council of The Corporation of the Town of Orangeville passed By-law No. 124-2006 adopting Official Plan Amendment No. 98 on the 2nd day of October, 2006, under the provisions of the Planning Act, R.S.O. 1990, c.P.13.

AND TAKE NOTICE THAT a notice of appeal to the Ontario Municipal Board in respect to the by-law may be submitted to the Clerk of The Corporation of the Town of Orangeville no later than the **30th day of October, 2006**. The notice of appeal must set out the objection to the by-law and the reasons in support of the objection. Only individuals, corporations and public bodies may appeal a zoning by-law to the Ontario Municipal Board. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf. If you wish to file an appeal with respect to the by-law to The Ontario Municipal Board, a copy of the appeal form is available from the OMB website at www.omb.gov.on.ca. A notice of appeal must be accompanied by a certified cheque or money order in the amount of \$125.00 payable to the Minister of Finance.

AND TAKE NOTICE THAT the official plan amendment is exempt from approval by The Ministry of Municipal Affairs, and the decision of Council is final if a notice of appeal is not received before or on the last day for filing a notice of appeal.

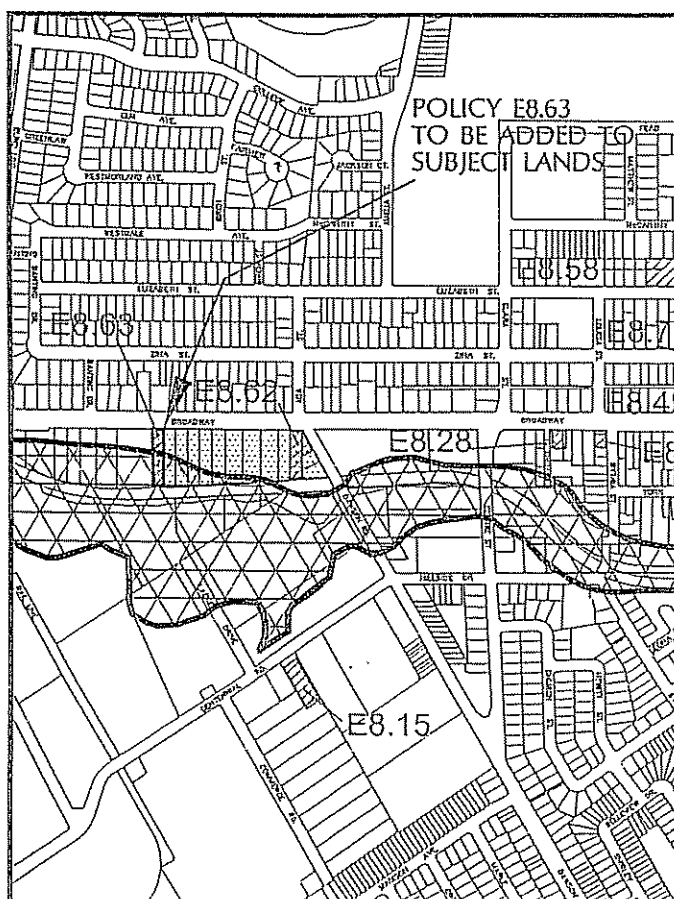
DATED AT THE TOWN OF ORANGEVILLE THIS 10TH DAY OF OCTOBER, 2006.

CHERYL JOHNS, A.M.C.T.
Clerk

THE PURPOSE AND EFFECT:

The purpose and effect of Official Plan Amendment No. 98 (OPA 98) is to introduce a site-specific policy to the Low Density Residential designation of the Official Plan for the subject lands, located on the south side of Broadway, between Dawson Road and Blind Line to permit a business or professional office as an additional use.

The location of the lands affected by OPA 98 is shown on the accompanying Key Map.

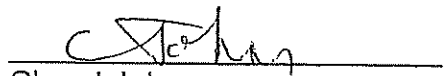


THE OFFICIAL PLAN
FOR THE
TOWN OF ORANGEVILLE
AMENDMENT NO. 98

The attached explanatory text and map, constituting Amendment Number 98 to the Official Plan for the Town of Orangeville, was adopted by the Council of the Corporation of the Town of Orangeville, under the provisions of Section 21 of the Planning Act, R.S.O., 1990, c. P.13 on October 2, 2006.



Drew Brown,
Mayor



Cheryl Johns,
Clerk

THE OFFICIAL PLAN
FOR THE
TOWN OF ORANGEVILLE
AMENDMENT NO. 98

PART A - THE PREAMBLE

1. Purpose of the Amendment

The purpose of the amendment is to introduce a site-specific amendment to the Low Density Residential designation of the subject lands to permit a business or professional office as an additional use.

2. Location

This amendment applies to the lands described as Part of Lot 7, Registered Plan 186, municipally known as 306 Broadway. The lands comprise 0.22 hectares and are on the south side of Broadway between Blind Line and Dawson Road.

3. Basis of the Amendment

The amendment will implement Council's approval on October 2, 2006, of an Official Plan Amendment application to redesignate the lands to permit the property to be used for a dental practice.

The subject lands are on a major collector road. The lands to the north and east are designated for residential uses and to the west for commercial uses. The rail corridor abutting the southerly limits of these lands is active.

Recent market impact studies have concluded that there is a shortage of vacant commercial space in Orangeville, particularly in the Town's west end. The subject lands form the westerly limits of a designated residential intensification area and this area is one in transition from a traditional large lot, low density residential area to one of home occupations and increasing land values in a high traffic area.

A site-specific exemption in the Low Density Residential designation to permit the office use will provide for an interim use on the lands, until such time as a more comprehensive residential or mixed-use redevelopment proposal could be advanced for the broader area.

The office use will provide a suitable separator between the residential lands to the east and the established commercial area to the west while partially fulfilling the need in the west end community for more commercial development.

PART B - THE AMENDMENT

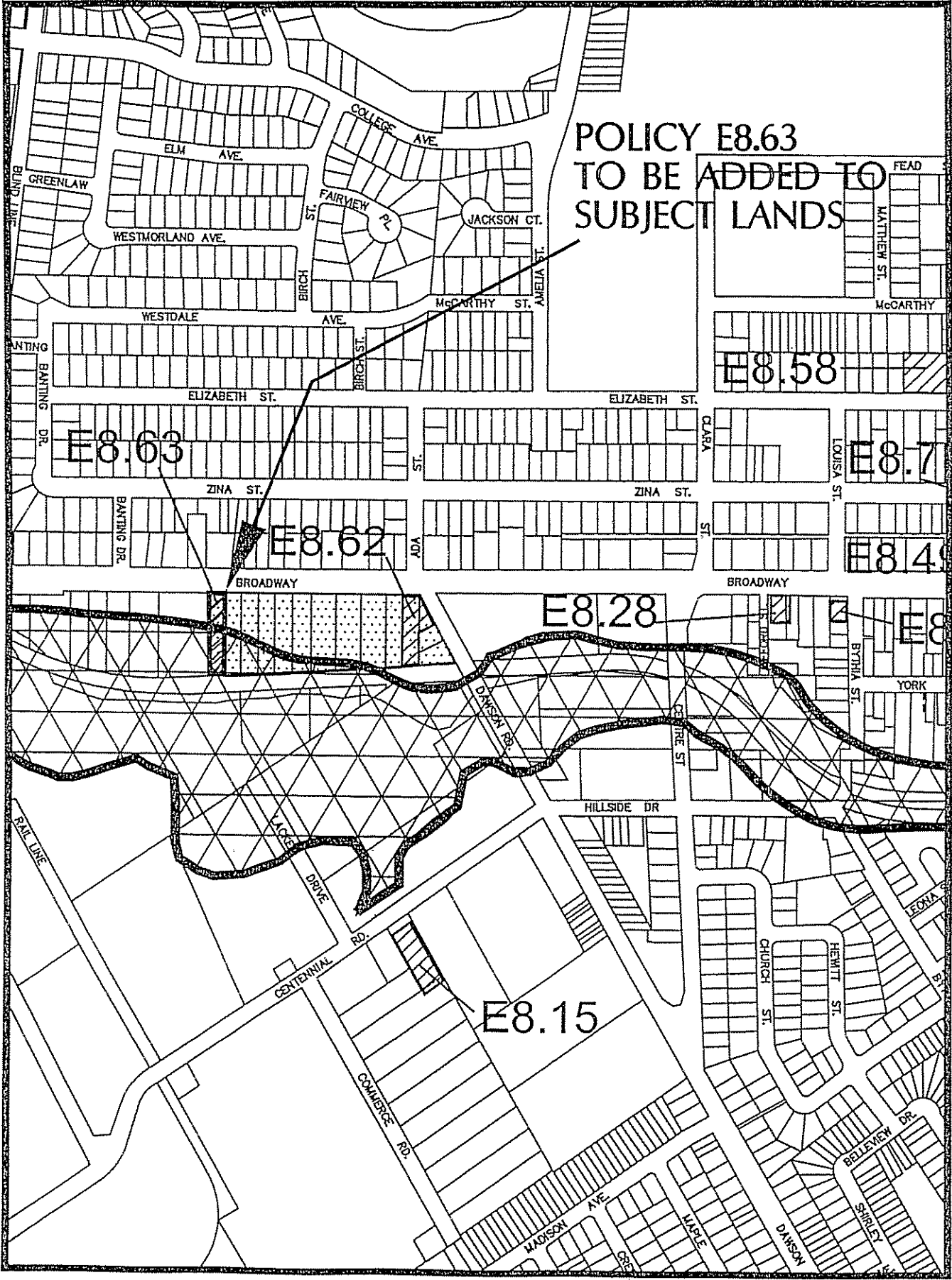
The Official Plan for the Town of Orangeville is amended as follows:

1. Schedule "B" "Policies for Specific Areas" is hereby amended by adding Special Policy E8.63 to the subject lands, municipally known as 306 Broadway, as shown on Schedule "A" hereto.
2. Section E8 – Policies for Specific Areas be amended by adding the following text thereto:

"E8.63 Notwithstanding the Low Density Residential designation on the lands, a business or professional office is also permitted."

[306 Broadway]

SCHEDULE "A" TO OFFICIAL PLAN AMENDMENT NO. 98





THE CORPORATION OF THE TOWN OF ORANGEVILLE

BY-LAW NUMBER 124 -2006

A BY-LAW TO ADOPT AMENDMENT NO. 98 TO THE OFFICIAL PLAN (Dr. Matthew Gewarges, 306 Broadway, OPZ 4/06)

The Council of the Corporation of The Town of Orangeville, in accordance with the provisions of Section 21 of the Planning Act, R.S.O. 1990, c.P.13 and amendments thereto, hereby enacts as follows:

1. Amendment No. 98 to the Official Plan for The Town of Orangeville, consisting of the attached explanatory text and map is hereby adopted.

BY-LAW READ THREE TIMES AND FINALLY PASSED IN OPEN COUNCIL THIS 2ND DAY OF OCTOBER, 2006.


DREW BROWN, MAYOR


CHERYL JOHNS, CLERK